



North Dublin Street and Backlands Regeneration Project

Monaghan County Council

An Bord Pleanála Planning Drawings

BOOK A1.1

April 2025

Drawing Number
DSN-MCA-ZZ-XX-DR-CE-1000-1.1-P01
Status
S2 - FOR INFORMATION



Comhairle Contae Mhuineacháin
Monaghan County Council



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Rev	Issue Date	Description	App
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North Dublin Street & Backlands Regeneration Project

Monaghan County Council

An Bord Pleanála Planning Drawings

April 2025

Drawing Register

Book A1.1 - Site Location and Existing / Proposed Layouts

DSN-MCA-ZZ-XX-DR-CE-1000-1.1	P01	Cover Sheet
DSN-MCA-ZZ-XX-DR-CE-1004	P02	Drawing Register
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DSN-MCA-ZZ-XX-DR-CE-1006	P02	Site Notice Plan
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DSN-MCA-ZZ-XX-DR-CE-1012	P01	Existing Site Layout Sheet 2
DSN-MCA-ZZ-XX-DR-CE-1013	P01	Existing Site Layout Sheet 3
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DSN-MCA-ZZ-XX-DR-CE-1030	P01	Existing Drainage Plan
DBL-OPE-00-XX-DR-L-901300	-	Site Layout Site Overview
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DSN-OPE-00-XX-DR-L-901304	Rev07	Site Layout Sheet 04
DSN-OPE-00-XX-DR-L-901306	Rev05	Illustrative Masterplan
DSN-MCA-ZZ-XX-DR-CE-1902	P02	Building and Wall Demolition Plan

Book A2.1 - Hard and Soft Landscaping

DSN-MCA-ZZ-XX-DR-CE-1001-2.1	P01	Cover Sheet
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DSN-OPE-00-XX-DR-L-901204	Rev03	Illustrative Sections
DSN-OPE-00-XX-DR-L-901205	Rev02	Illustrative Sections
DSN-OPE-ZZ-XX-DR-L-901101	Rev02	Details - Surfacing
DSN-OPE-ZZ-XX-DR-L-902102	Rev02	Details - Steps and Furniture
DSN-OPE-ZZ-XX-DR-L-902103	Rev02	Details - Furniture
DSN-OPE-ZZ-XX-DR-L-902104	Rev01	Details - Furniture
DSN-OPE-ZZ-XX-DR-L-902105	Rev01	Details - Boundary Treatments
DSN-OPE-ZZ-XX-DR-L-902201	Rev01	Details - Soft Landscape Planting 01
DSN-OPE-ZZ-XX-DR-L-902202	Rev02	Details - Soft Landscape Planting 02
DSN-OPE-ZZ-XX-DR-L-902203	Rev02	Details - Soft Landscape Planting 03

Book A2.2 - Roads & Drainage

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DBRN-MCA-ZZ-XX-DR-CE-1711	P02	Proposed Vehicle Tracking - Fire Tender
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DBRN-MCA-ZZ-XX-DR-CE-1713	P02	Proposed Vehicle Tracking - Bus
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22268-DLW-XX-XX-XX-E-00400	P04	Diversions
22268-DLW-XX-XX-DR-E-00500	P04	ESB Substation
DSN-MCA-ZZ-XX-DR-CE-1706	P02	Proposed Contractor's Compound Plan

Book A2.3 - Elevations and Sections

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DSN-MCA-ZZ-XX-DR-CE-1004	P02	Drawing Register
DSN-MCA-ZZ-XX-DR-CE-1810	P02	Russell Row Boundary Proposals Overview Plan 1
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DSN-MCA-ZZ-XX-DR-CE-1812	P02	Russell Row Boundary Proposals Sheet 2
DSN-MCA-ZZ-XX-DR-CE-1813	P02	Russell Row Boundary Proposals Sheet 3
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DSN-MCA-ZZ-XX-DR-CE-1830	P02	Russell Row Boundary Proposals Overview Plan 3
DSN-MCA-ZZ-XX-DR-CE-1831	P02	Russell Row Boundary Proposals Sheet 10
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Monaghan County Council



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P02	07.04.25	Updated for planning issue	DSA
Rev	Issue Date	Description	App
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NOTES

1. All measurements shown are in metres, and all levels are to
ordnance datum unless otherwise indicated
2. All Coordinates are to Irish Transverse Mercator (ITM), unless
otherwise noted.

LEGEND

- **Site Boundary**
Centered on coordinates;
Irish Grid (ITM)
X=667386
Y=833713
OS Grid Reference = H 64721 33697
Area = 25,087m² = 2.51Ha
- Site Notice Location
- **Adjacent Lands owned by the Applicant**

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P03	10.02.25	Red line amended to cover facades	DSA
P02	05.02.25	Added Adjacent lands owned by client	IA
P01	04.02.25	First Issue for planning	DSA
Rev	Date	Description	App

Project Manager, Civil & Structural Engineers



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Project Status **STAGE 3 - PLANNING**

Project **NORTH DUBLIN STREET & BACK-
LANDS REGENERATION PROJECT**

Drawing **SITE LOCATION PLAN**

Scale **1:1250 @ A1**

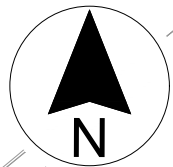
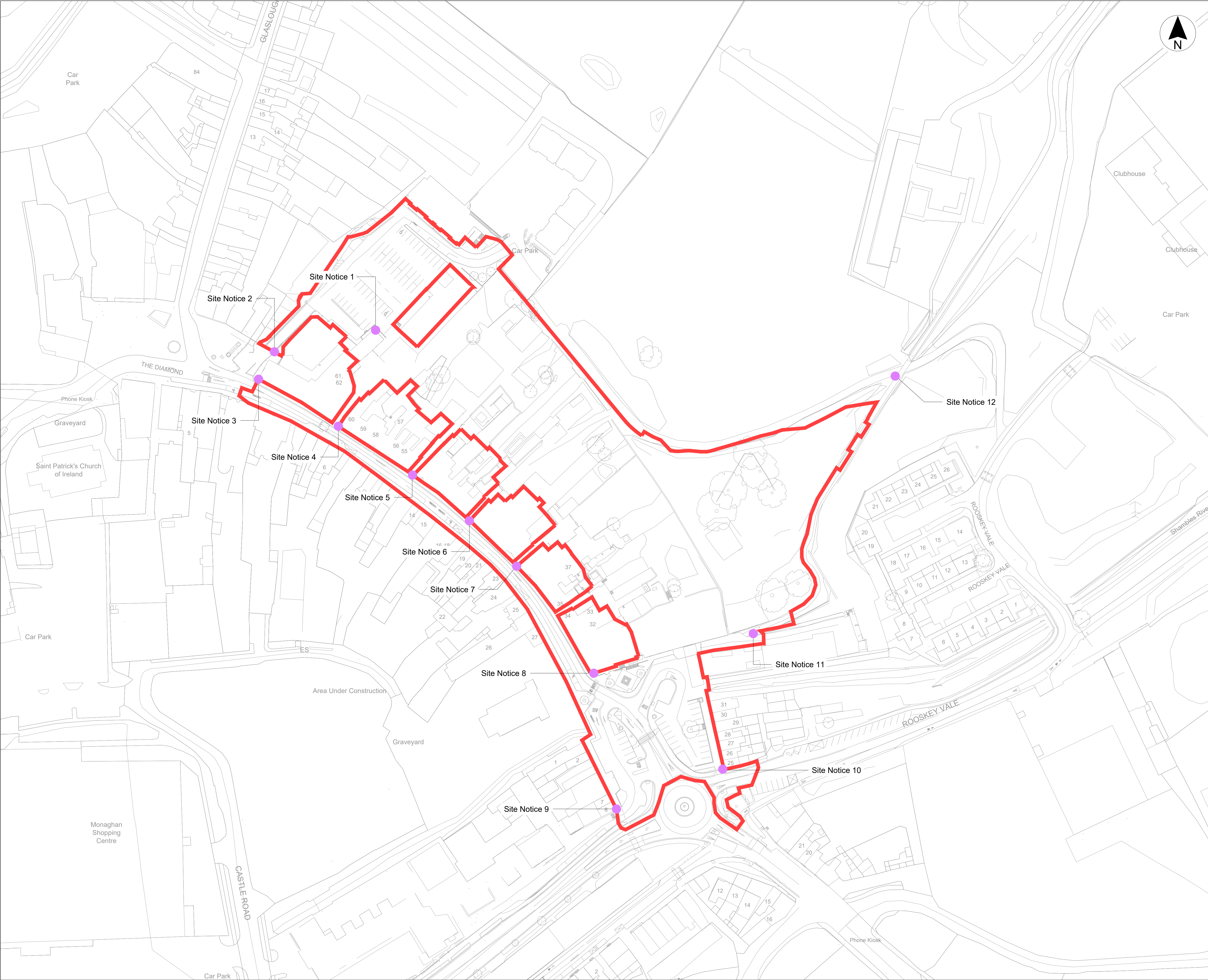
Drawn	DSA	Checked	KOS	Approved	KOS
Date	04.02.25	Date	04.02.25	Date	04.02.25

Project	Organisation - Zone - Level - Type - Role - Number	Revision
DSN	MCA - ZZ - XX - DR - CE - 1005	P03

Project Number **E2442**

Status code & Description
S2 For Information

All dimensions are in metres. Figured dimensions to be taken in preference to scaled
dimensions. Dimensions to be checked on site. © 2023 McAdam Design Ltd.



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LEGEND

- Site Boundary
- Site Notice Location

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P02	17.02.25	Issue for planning	DSA
P01	04.02.25	First Issue for client review	DSA
Rev	Date	Description	App

Project Manager, Civil & Structural Engineers



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Client
 **Comhairle Contae Mhuineacháin**
Monaghan County Council

Project Status
STAGE 3 - PLANNING

Project
**NORTH DUBLIN STREET BACK-
LANDS REGENERATION PROJECT**

Drawing
SITE NOTICES PLAN

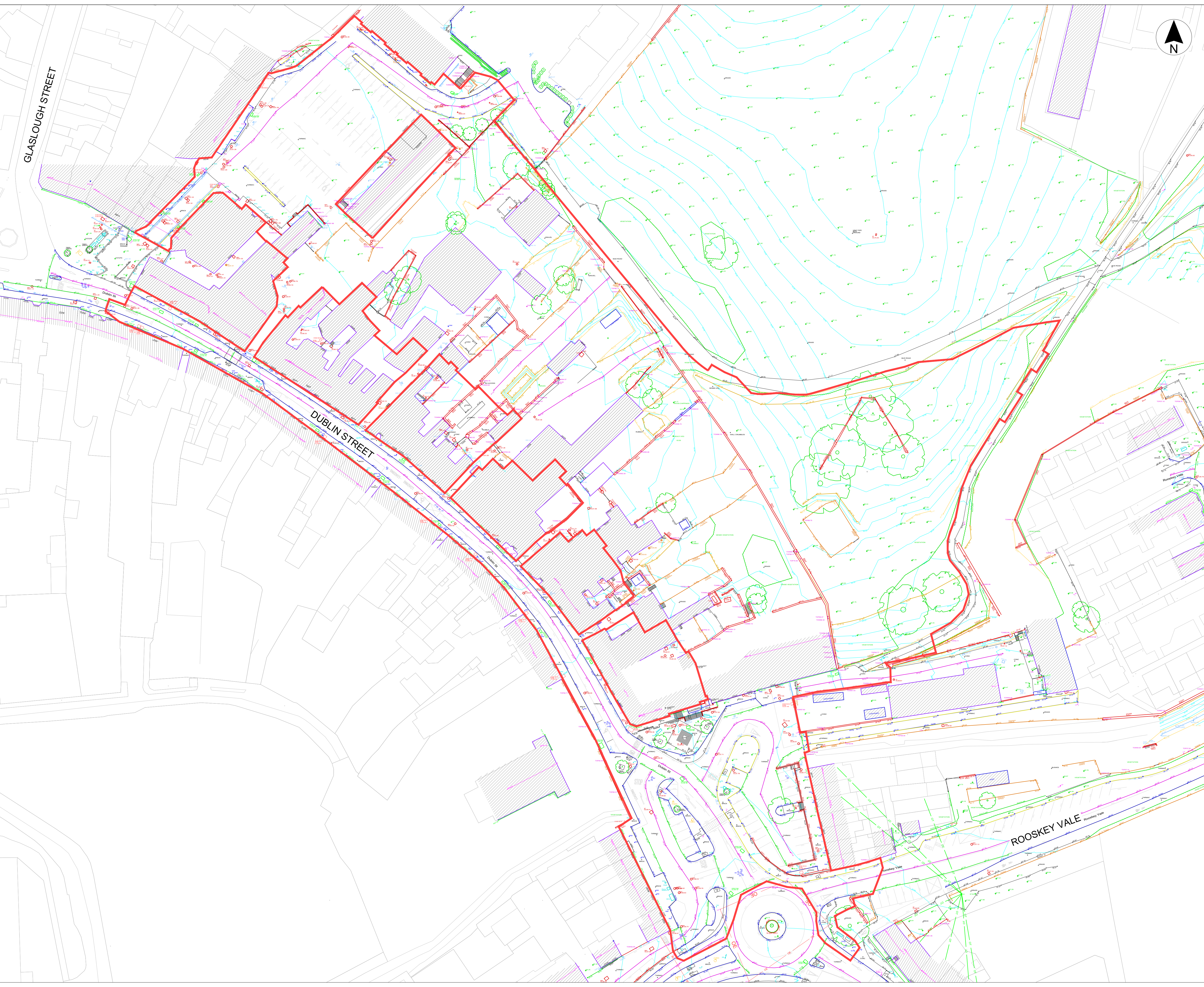
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Drawn	DSA	Checked	KOS	Approved	KOS
Date	04.02.25	Date	04.02.25	Date	04.02.25

Project	Organisation	Zone	Level	Type	Role	Number	Revision
DSN	MCA	ZZ	XX	DR	CE	1006	P02

Project Number	Status code & Description
E2442	S2 For Information

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NOTES
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LEGEND:
SITE BOUNDARY
—
LINEWORK:
EMBANKMENT TOP +101.50
DRAIN +101.50
BREAKLINE +101.50
BUILDING +101.50
KERB BOTTOM +101.50
WALL +101.50
PATH/CHANGE SURFACE +101.50
O/H EAD ELECTRICITY —
O/H EAD TELECOM —
LEVELS :
BED LEVEL +BED101.50
EAVE LEVEL +E101.50
FLOOR LEVEL +FL101.50
INVERT LEVEL +IL101.50
ROAD LEVEL +101.50
RIDGE LEVEL +R101.50
SOFFIT LEVEL +SL101.50
SPOT LEVEL +101.50
TOP OF FENCE LEVEL +TOP101.50
TOP OF WALL LEVEL +TOW101.50
WATER LEVEL +WL101.50
STREET FURNITURE :
BOLLARDS BD+
BORE HOLE BH+
BUS STOP BS+
CRASH BARRIER CB+
ELECTRICITY POLE EP+
EARTHING ROD ER+
GATE —
LAMP POST LP+
MARKER POST MKR+
POST POST+
POST BOX POST BOX+
ROADSIGN RS+
SIGN POST RS+
TELEPHONE BOX TB+
TELEPHONE POLE TP+
TRAFFIC LIGHT TL+
SERVICES :
AIR VALVE AV+
CABLE TV IC+
COVER LEVEL OL
EIRCOM COVER EIRCOM
EIRCOM JUNCTION BOX EIRCOM BOX
ELECTRICAL CABLE PIT ECP+
ESAT COVER ESAT
ESB COVER ESB
ESB JUNCTION BOX ESB BOX
FIRE HYDRANT FH
GAS VALVE GV
GULLY G
INSPECTION COVER IC
MANHOLE MH
SLUICE VALVE SV
STOPCOCK ST
SERVICE BOX (UNKNOWN) BOX
TRAFFIC COVER TLIC
WATER METER WM+

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P01	04.02.25	First Issue for planning	DSA
Rev	Date	Description	App
Project Manager, Civil & Structural Engineers			

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Monaghan County Council

Project Status
STAGE 3 - PLANNING

Project
NORTH DUBLIN STREET & BACK-
LANDS REGENERATION PROJECT

Drawing
EXISTING SITE LAYOUT OVERVIEW

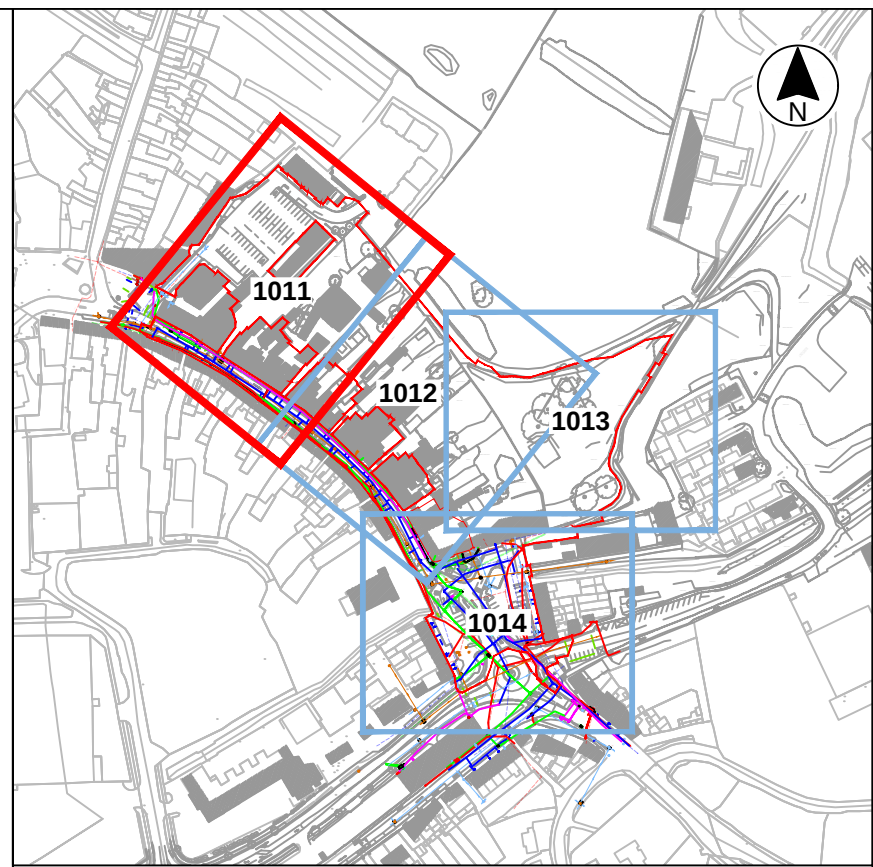
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Drawn	DSA	Checked	KOS	Approved	KOS
Date	04.02.25	Date	04.02.25	Date	04.02.25

Project	Organisation	Zone	Level	Type	Role	Number	Revision
DSN	MCA	ZZ	XX	DR	CE	1010	P01

Project Number	Status code & Description
E2442	S2 For Information

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KEY PLAN
SCALE 1:4000

LEGEND:	
SITE BOUNDARY	
LINEWORK:	
EMBANKMENT TOP	+101.50
BREAKLINE	+101.50
BUILDING	+101.50
KERB BOTTOM	+101.50
WALL	+101.50
PATH/CHANGE SURFACE	+101.50
LEVELS :	
BED LEVEL	+BED101.50
EAVE LEVEL	+E101.50
FLOOR LEVEL	+FL101.50
ROAD LEVEL	+101.50
RIDGE LEVEL	+R101.50
SOFFIT LEVEL	+S101.50
SPOT LEVEL	+101.50
TOP OF FENCE LEVEL	+TOF101.50
TOP OF WALL LEVEL	+TOW101.50
WATER LEVEL	+WL101.50
STREET FURNITURE :	
BOLLARDS	BD+
BORE HOLE	BH+
BUS STOP	BS+
CRASH BARRIER	CB
ELECTRICITY POLE	EP+
EARTHING ROD	ER+
GATE	GT
MARKER POST	MKR+
POST	POST
POST BOX	POST BOX+
ROADSIGN	RS+ RS-
SIGN POST	SIGN
TELEPHONE BOX	TB
TELEPHONE POLE	TP
SERVICES :	
AIR VALVE	AV+
CABLE TV IC	CATV
COVER LEVEL	CL
EIRCOM COVER	EIRCOM
EIRCOM JUNCTION BOX	EIRCOM JBOX
ELECTRICAL CABLE PIT	ECP
ESAT COVER	ESAT
ESB COVER	ESB
ESB JUNCTION BOX	ESB JBOX
FIRE HYDRANT	FH+
GAS VALVE	GV
INSPECTION COVER	IC
MANHOLE	MH
SLUICE VALVE	SV
STOPCOCK	ST
SERVICE BOX (UNKNOWN)	BOX
TRAFFIC COVER	TLC
WATER:	
WATER MAIN (RECORDS)	WM (R)
WATER MAIN (GPR)	WM (G)
SLUICE VALVE	SV
VALVE	V
FIRE HYDRANT	FH
WATER METER	WM
ELECTRIC:	
ELECTRIC DUCT (RECORDS)	ED (R)
ELECTRIC DUCT (GPR)	ED (G)
ELECTRIC OVERHEAD	EO
STREET LIGHTING DUCT	SLD
LAMP POST	LP
TRAFFIC LIGHTS DUCT	TLD
TRAFFIC LIGHTS DUCT BOX	TLD BOX
TRAFFIC LIGHT MINI PILLAR	TLM
ESB MINI PILLAR	ESB MP
ESB DRAW PIT	ESB DP
TELECOMS:	
TELECOMS (RECORDS)	TC (R)
TELECOMS (GPR)	TC (G)
TELECOM OVERHEAD	TO
TELECOMS MINI PILLAR	TMP
EIRCOM DUCT BOX	EIRCOM DBX
WATER MAIN (GPR)	WM (G)
UNKNOWN:	
ANOMALY	ANOM
DRAINAGE:	
STORM SEWER	SS
FOUL/COMBINED SEWER	FCS
STORM GULLY	SG
DOWN PIPE	DP

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P01	04.02.25	First Issue for planning	DSA
Rev	Date	Description	App
Project Manager, Civil & Structural Engineers			



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STAGE 3 - PLANNING

NORTH DUBLIN STREET & BACK-
LANDS REGENERATION PROJECT

EXISTING SITE LAYOUT
SHEET 1

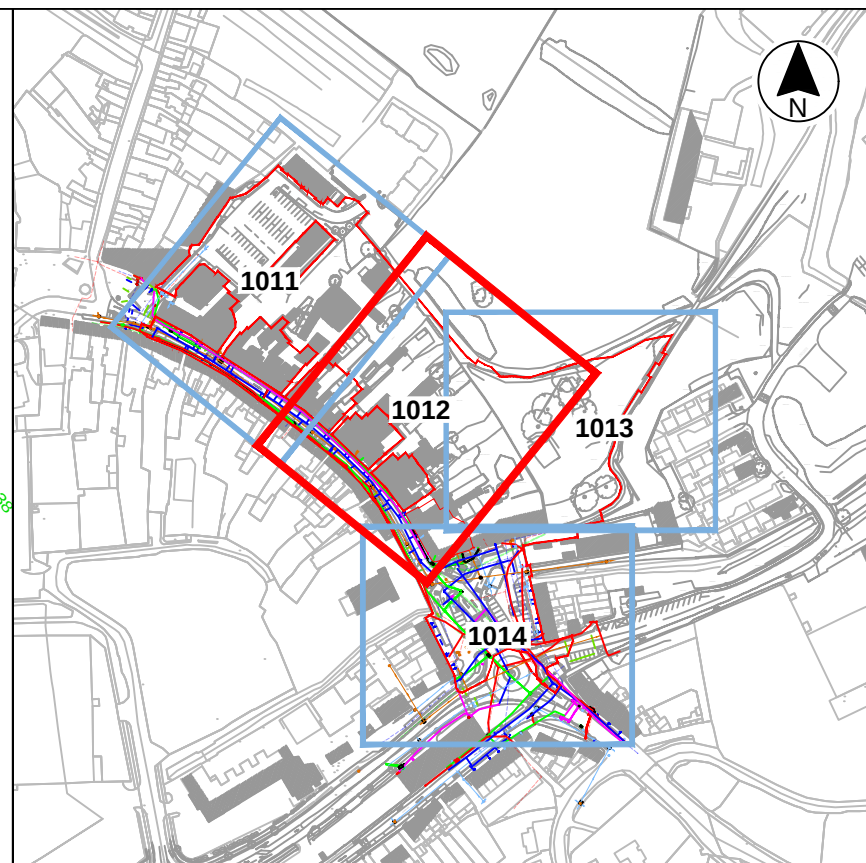
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Drawn	DSA	Checked	KOS	Approved	KOS
Date	04.02.25	Date	04.02.25	Date	04.02.25

Project	Organisation	Zone	Level	Type	Role	Number	Revision
DSN	MCA	ZZ	XX	DR	CE	1011	P01

Project Number	Status code & Description
E2442	S2 For Information

All dimensions are in metres. Figured dimensions to be taken in preference to scaled dimensions. Dimensions to be checked on site. © 2023 McAdam Design Ltd.



KEY PLAN
SCALE 1:4000

LEGEND:			
SITE BOUNDARY			
LINEWORK:			
EMBAKEMENT TOP	101.50	WATER:	
BREAKLINE	101.50	WATER MAIN (RECORDS)	
BUILDING	101.50	WATER MAIN (GPR)	
KERB BOTTOM	101.50	SLUICE VALVE	
WALL	101.50	VALVE	
PATH/CHANGE SURFACE	101.50	FIRE HYDRANT	
		WATER METER	
LEVELS:			
BED LEVEL	+BED101.50	ELECTRIC:	
EAVE LEVEL	+EVL101.50	ELECTRIC DUCT (RECORDS)	
FLOOR LEVEL	+FL101.50	ELECTRIC DUCT (GPR)	
INVERT LEVEL	+I101.50	ELECTRIC OVERHEAD	
ROAD LEVEL	+R101.50	STREET LIGHTING DUCT	
RIDGE LEVEL	+RL101.50	LAMP POST	
SOFFIT LEVEL	+SL101.50	TRAFFIC LIGHTS DUCT	
SPOT LEVEL	+101.50	TRAFFIC LIGHTS DUCT BOX	
TOP OF FENCE LEVEL	+TOF101.50	TRAFFIC LIGHT MINI PILLAR	
TOP OF WALL LEVEL	+TOW101.50	TRAFFIC LIGHT POLE	
WATER LEVEL	+WL101.50	ESB MINI PILLAR	
		ESB DRAW PIT	
STREET FURNITURE:			
BOLLARDS	BD*	TELECOMS:	
BORE HOLE	BH*	TELECOMS (RECORDS)	
BUS STOP	BS*	TELECOMS (GPR)	
CRASH BARRIER	CB*	TELECOM OVERHEAD	
ELECTRICITY POLE	EP*	TELECOMS MINI PILLAR	
EARTHING ROD	ER*	EIRCOM DUCT BOX	
MARKER POST	MKR*	WATER MAIN (GPR)	
POST	POST*		
POST BOX	POST BOX*	UNKNOWN:	
ROADSIGN	RS* RS*	ANOMALY	
SIGN POST	SIGN*		
TELEPHONE BOX	TB*		
TELEPHONE POLE	TP*		
SERVICES:			
AIR VALVE	AV*		
CABLE TV IC	CL*		
COVER LEVEL	CL*		
EIRCOM COVER	EIRCOM*		
EIRCOM JUNCTION BOX	EIRCOM*		
ELECTRICAL CABLE PIT	ECP*		
ESAT COVER	ESAT*		
ESB COVER	ESB*		
ESB JUNCTION BOX	ESB*		
FIRE HYDRANT	FI*		
GAS VALVE	GV*		
INSPECTION COVER	IC*		
MANHOLE	MH*		
SLUICE VALVE	SV*		
STOPCOCK	ST*		
SERVICE BOX (UNKNOWN)	BOX*		
TRAFFIC COVER	TLC*		

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P01	04.02.25	First issue for planning	DSA
Rev	Date	Description	App

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Client

Comhairle Contae Mhuineacháin
Monaghan County Council

Project Status **STAGE 3 - PLANNING**

Project **NORTH DUBLIN STREET & BACK-
LANDS REGENERATION PROJECT**

Drawing **EXISTING SITE LAYOUT
SHEET 2**

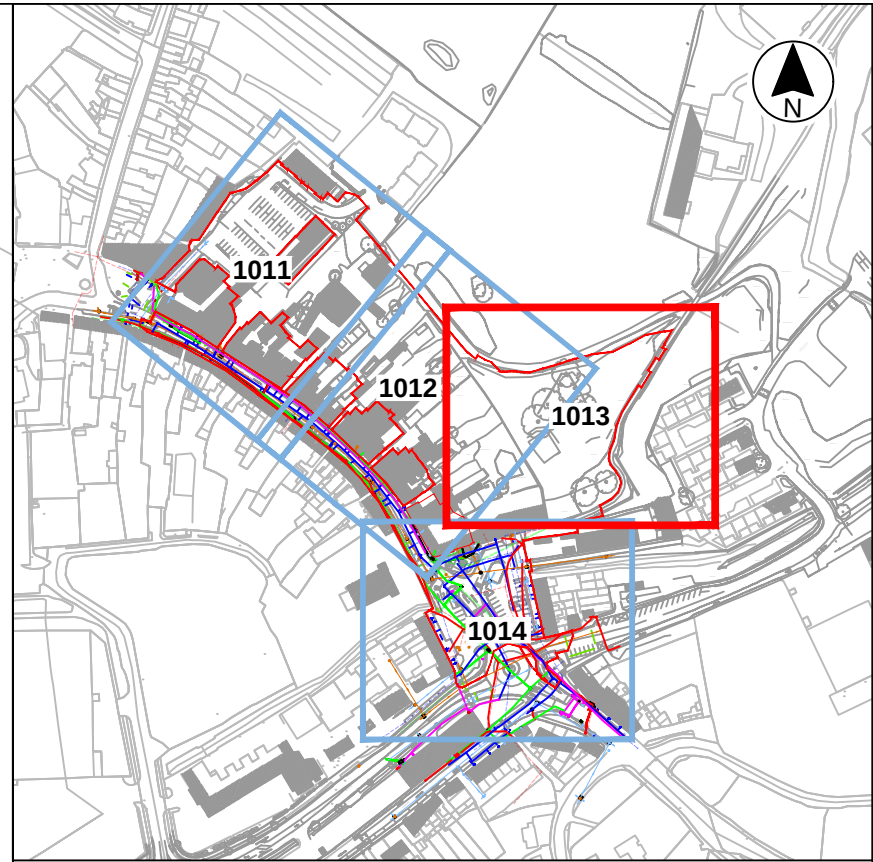
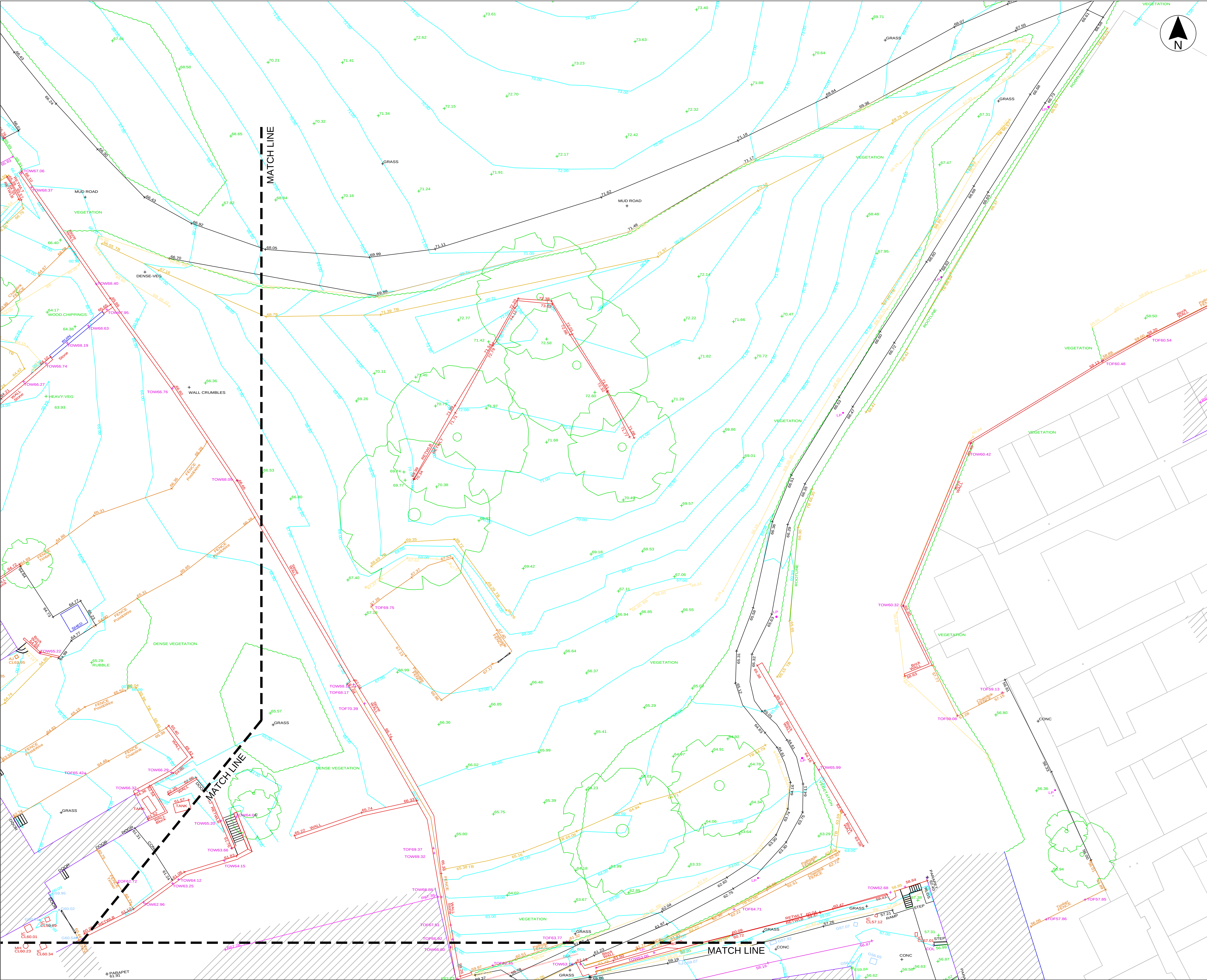
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Drawn	DSA	Checked	KOS	Approved	KOS
Date	04.02.25	Date	04.02.25	Date	04.02.25

Project	Organisation	Zone	Level	Type	Role	Number	Revision
DSN	MCA	ZZ	XX	DR	CE	1012	P01

Project Number	Status code & Description
E2442	S2 For Information

All dimensions are in metres. Figured dimensions to be taken in preference to scaled dimensions. Dimensions to be checked on site. © 2023 McAdam Design Ltd.



KEY PLAN
SCALE 1:4000

LEGEND:	
SITE BOUNDARY	
LINEWORK:	
EMBANKMENT TOP	+101.50
BREAKLINE	+101.50
BUILDING	+101.50
KERB BOTTOM	+101.50
WALL	+101.50
PATH/CHANGE SURFACE	+101.50
LEVELS:	
BED LEVEL	+BED101.50
EAVE LEVEL	+E101.50
FLOOR LEVEL	+FL101.50
INVERT LEVEL	+IL101.50
ROAD LEVEL	+R101.50
RIDGE LEVEL	+SL101.50
SOFFIT LEVEL	+101.50
SPOT LEVEL	+TOP101.50
TOP OF FENCE LEVEL	+TOW101.50
TOP OF WALL LEVEL	+WL101.50
WATER LEVEL	+WL101.50
STREET FURNITURE:	
BOLLARDS	BD+
BORE HOLE	BH+
BUS STOP	BS+
CRASH BARRIER	CB
ELECTRICITY POLE	EP+
EARTHING ROD	ER+
GATE	GR+
MARKER POST	MKR+
POST	POST+
POST BOX	POST BOX+
ROADSIGN	RS+RS+
SIGN POST	SIGN+
TELEPHONE BOX	TB
TELEPHONE POLE	TP+
SERVICES:	
AIR VALVE	AV+
CABLE TV IC	CATV
COVER LEVEL	CL
EIRCOM COVER	EIRCOM
EIRCOM JUNCTION BOX	EIRCOM JUNCTION BOX
ELECTRICAL CABLE PIT	ECP
ESAT COVER	ESAT
ESB COVER	ESB
ESB JUNCTION BOX	ESB JUNCTION BOX
FIRE HYDRANT	FH+
GAS VALVE	GV
INSPECTION COVER	IC
MANHOLE	MH
SLUICE VALVE	SV
STOPCOCK	ST
SERVICE BOX (UNKNOWN) BOX	SB
TRAFFIC COVER	TLC
WATER:	
WATER MAIN (RECORDS)	WM (RECORDS)
WATER MAIN (GPR)	WM (GPR)
SLUICE VALVE	SLV
VALVE	V
FIRE HYDRANT	FH
WATER METER	WM
ELECTRIC:	
ELECTRIC DUCT (RECORDS)	ED (RECORDS)
ELECTRIC DUCT (GPR)	ED (GPR)
ELECTRIC OVERHEAD	EO
STREET LIGHTING DUCT	SLD
LAMP POST	LP
TRAFFIC LIGHTS DUCT	TLD
TRAFFIC LIGHTS DUCT BOX	TLD BOX
TRAFFIC LIGHT MINI PILLAR	TLP
TRAFFIC LIGHT POLE	TLP
ESB MINI PILLAR	ESB MP
ESB DRAW PIT	ESB DP
TELECOMS:	
TELECOMS (RECORDS)	TC (RECORDS)
TELECOMS (GPR)	TC (GPR)
TELECOM OVERHEAD	TO
TELECOMS MINI PILLAR	TC MP
EIRCOM DUCT BOX	EIRCOM DB
WATER MAIN (GPR)	WM (GPR)
UNKNOWN:	
ANOMALY	ANOMALY
DRAINAGE:	
STORM SEWER	SS
FOUL/COMBINED SEWER	FCS
STORM GULLY	SG
DOWN PIPE	DP

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P01	04.02.25	First issue for planning	DSA
Rev	Date	Description	App
Project Manager, Civil & Structural Engineers			

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Client

Comhairle Contae Mhuineacháin
Monaghan County Council

Project Status

STAGE 3 - PLANNING

Project

**NORTH DUBLIN STREET & BACK-
LANDS REGENERATION PROJECT**

Drawing

**EXISTING SITE LAYOUT
SHEET 3**

Scale

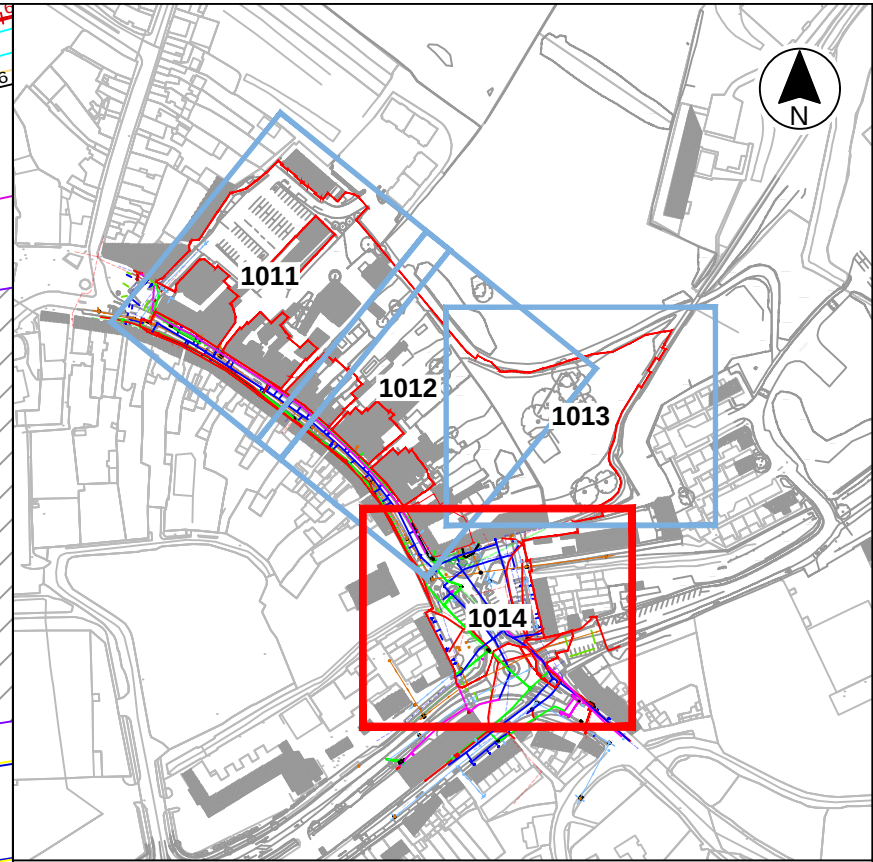
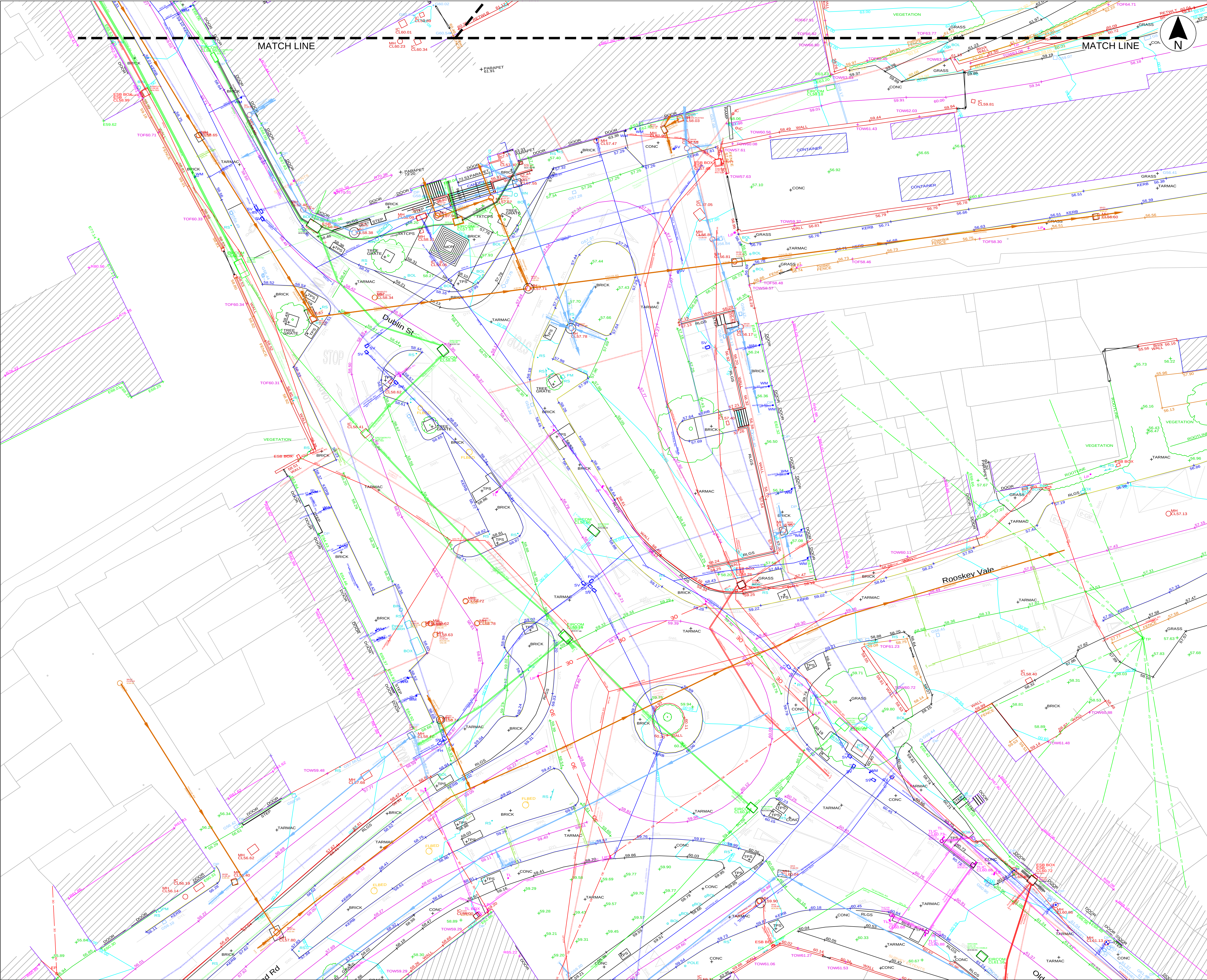
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Drawn	DSA	Checked	KOS	Approved	KOS
Date	04.02.25	Date	04.02.25	Date	04.02.25

Project	Organisation	Zone	Level	Type	Role	Number	Revision
DSN	MCA	-ZZ-	-XX-	-DR-	-CE-	-1013-	-P01-

Project Number	Status code & Description
E2442	S2 For Information

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KEY PLAN

SCALE 1:4000

LEGEND:

SITE BOUNDARY

LINEWORK:

LEVELS :

STREET FURNITURE :

SERVICES :

WATER:

ELECTRIC:

TELECOMS:

UNKNOWN:

DRAINAGE:

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Rev

Date

Description

App

Project Manager, Civil & Structural Engineers

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Client

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Monaghan County Council

Project Status

STAGE 3 - PLANNING

Project

NORTH DUBLIN STREET & BACK-
LANDS REGENERATION PROJECT

Drawing

EXISTING SITE LAYOUT
SHEET 4

Scale

1:200 @ A1

Drawn

DSA

Checked

KOS

Approved

KOS

Date

04.02.25

Date

04.02.25

Date

04.02.25

Project

Organisation

Zone

Level

Type

Role

Number

Revision

DSN

MCA

ZZ

XX

DR

CE

1014

P01

Project Number

E2442

Status code & Description

S2 For Information

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Rev

Date

Description

App

Project Manager, Civil & Structural Engineers

McAdam

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Monaghan County Council

Project Status

STAGE 3 - PLANNING

Project

NORTH DUBLIN STREET & BACK-
LANDS REGENERATION PROJECT

Drawing

EXISTING SITE LAYOUT
SHEET 4

Scale

1:200 @ A1

Drawn

DSA

Checked

KOS

Approved

KOS

Date

04.02.25

Date

04.02.25

Date

04.02.25

Project

Organisation

Zone

Level

Type

Role

Number

Revision

DSN

MCA

ZZ

XX

DR

CE

1014

P01

Project Number

E2442

Status code & Description

S2 For Information

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- LEGEND:
- FOUL / COMBINED SEWER (UISCE EIRRAN)
 - STORM WATER SEWER (MONAGHAN CO. COUNCIL)
 - MANHOLE (UNKNOWN OWNERSHIP / FUNCTION)
 - STORM WATER GULLY
 - BUILDING DOWNPIPE

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P01	04.02.25	First Issue for planning	DSA
Rev	Date	Description	App

Project Manager, Civil & Structural Engineers



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Project Status: **STAGE 3 - PLANNING**

Project: **NORTH DUBLIN STREET & BACKLANDS REGENERATION PROJECT**

Drawing: **EXISTING DRAINAGE PLAN**

Scale: **1:500 @ A1**

Drawn	DSA	Checked	KOS	Approved	KOS
Date	04.02.25	Date	04.02.25	Date	04.02.25

Project	Organisation	Zone	Level	Type	Role	Number	Revision
DSN	MCA	ZZ	XX	DR	CE	1030	P01

Project Number: **E2442**

Status code & Description: **S2 For Information**

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CDM INFORMATION

1. -

KEY PLAN

01	Issued for Planning	nt	12.02.24
Issue	Revision	Initial	Date

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Client
Monaghan County Council

Project

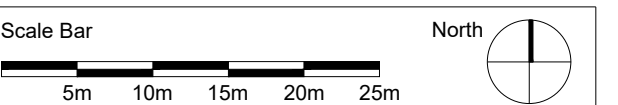
Dublin Street North

Monaghan

Drawing Title

SITE LAYOUT

Site Overview



Scale: 1:500@A1 Date: MARCH 2024

By: NT Status: PLANNING

Checked: **BP** Approved: **BP**

Drawing Number	Rev
DBL-OPE-00-XX-DR-L-901300	-

Computer File: P:\2022\221769_Dublin St Nth\CAD\AUTOCAD\SHEETS



Note:
Information outside of redline boundary
shown for context only.

LEGEND

GENERAL

Site Boundary

Embankments

Proposed Development Area

HARD LANDSCAPE

P1: Silver Grey Natural Stone paving

Natural stone paving in silver grey tones to footpaths and alleyways.

P2: Mid Grey Natural Stone paving

Natural stone paving in mid grey tones to carriageways.

P3: Precast Paving Units

Granite Aggregate precast paving units to footways.

P4: Block Paving

Aquaflow Block paving to car parking spaces.

P5: Precast Paving Units

Granite Aggregate precast paving units to central gardens

P6: Cycle path

P7 Asphalt

P8: Feature bands

Feature bands in natural stone with a flamed finish

P9 Tactile paving to uncontrolled ped. crossings

P10: Corduroy tactile paving to cycle lanes

P11: Corduroy tactile paving to steps

P12: Tactile guidance paving to pedestrian areas

P13: Tactile guidance paving to controlled crossings

P14: Feature paving inlay

P15: Mid Grey Self Binding Gravel to Park Footpaths

P16: Play Bark Surface

F01: Fencing to future development plots

F02: Proposed 1.2m high railings to reform boundary

F03: Proposed sections of timber post and rail fencing

F04: Proposed sections of 1.8m vertical timber board fencing

W1: Retaining wall

STEPS

S1: Natural stone steps to Old Cross Square

with associated stainless steel handrails

S2: Natural stone steps

with associated stainless steel handrails

SOFT LANDSCAPE

S1: Shrub Mix 1

A mix of groundcover, ornamental grasses, perennials and shrubs.

S2: Shrub Mix 2

A mix of groundcover, ornamental grasses, perennials and shrubs.

S3: Rain Garden Mix 2

A mix of groundcover, ornamental grasses, perennials and shrubs.

S4: Perennial Wild flower Meadow

Seed mix

S5: Amenity Grass

Seed mix

T1: Proposed Semi-Mature tree in hard

Semi-Mature tree planting in hard landscape. To include tree grille and proprietary tree pit.

T2: Proposed Semi-Mature tree in soft

Semi-Mature tree planting in soft landscape.

Retained Existing trees

Semi-Mature tree planting in soft landscape.

STREET FURNITURE

F1: Raised Planter

Raised planter with integrated seating. To include groundcover, perennial and shrub planting species.

F2: Linear Raised Planter

Linear / rectangular raised planter with integrated seating. To include groundcover, perennial and shrub planting species.

F3: Bench

Linear bench with timber top, backrest and armrests.

F4: Individual Seats

Clusters of individual seats.

F5: Cycle Stands

Stainless Steel 'Sheffield' type cycle stands

F6: Litter Bin

Locations for litter bins.

F7: Catenary lighting

F8: Proposed lighting columns

F9: Proposed power points

F10: Proposed location for EV charging point

F11: Proposed bollard to foot path edge

F12: Solar Bench

F13: Bike repair station

F14: Information Plaque

F15: Water feature to Central Garden

F16: Existing Monument to Old Cross Square

F17: Play equipment to park

NOTES

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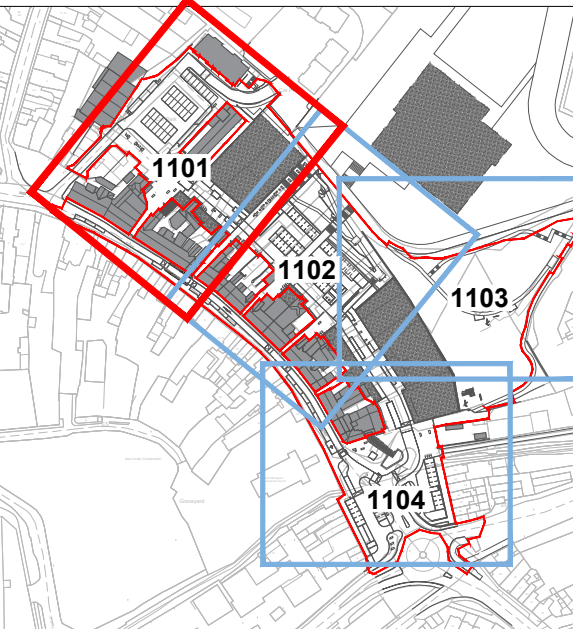
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CDM INFORMATION

1.

KEY PLAN



07	GA updated to reflect comments	nt	04.04.25
06	Planning boundary updated. Issued for Planning	nt	10.02.25
05	Planning Issue	nt	29.01.25
04	Planning Issue	nt	29.11.24
03	Planning Issue	nt	16.09.24
02	Draft Planning. Issued for information	nt	09.08.24
01	Issued for information	nt	23.04.24
Issue	Revision	Initial	Date

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Client
Monaghan County Council

Project
Dublin Street North
Monaghan

Drawing Title
SITE LAYOUT
SHEET 01

Scale Bar
2m 4m 6m 8m 10m
North

Scale: 1:200@A1 Date: MARCH 2024
By: NT Status: PLANNING
Checked: BP Approved: BP

Drawing Number
DBL-OPE-00-XX-DR-L-901301
Rev
07

Computer File: P:\2022\221769_Dublin St N\BICAD\AUTOCAD\SHEETS



LEGEND
GENERAL

Site Boundary

Embankments

Proposed Development Area

HARD LANDSCAPE

P1: Silver Grey Natural Stone paving
Natural stone paving in silver grey tones to footpaths and alleyways.

P2: Mid Grey Natural Stone paving
Natural stone paving in mid grey tones to carriageways.

P3: Precast Paving Units
Granite Aggregate precast paving units to footways.

P4: Block Paving
'Aqualflow' Block paving to car parking spaces.

P5: Precast Paving Units
Granite Aggregate precast paving units to central gardens.

P6: Cycle path

P7 Asphalt

P8: Feature bands
Feature bands in natural stone with a flamed finish

P9 Tactile paving to uncontrolled ped. crossings

P10: Corduroy tactile paving to cycle lanes

P11: Corduroy tactile paving to steps

P12: Tactile guidance paving to pedestrian areas

P13: Tactile guidance paving to controlled crossings

P14: Feature paving inlay

P15: Mid Grey Self Binding Gravel to Park Footpaths

P16: Play Bark Surface

Fe1: Fencing to future development plots

Fe2: Proposed 1.2m high railings to reform boundary

Fe3: Proposed sections of timber post and rail fencing

Fe4: Proposed sections of 1.8m vertical timber board fencing

W1: Retaining wall

STEPS

S1: Natural stone steps to Old Cross Square
with associated stainless steel handrails

S2: Natural stone steps
with associated stainless steel handrails

SOFT LANDSCAPE

S1: Shrub Mix 1
A mix of groundcover, ornamental grasses, perennials and shrubs.

S2: Shrub Mix 2
A mix of groundcover, ornamental grasses, perennials and shrubs.

S3: Rain Garden Mix 2
A mix of groundcover, ornamental grasses, perennials and shrubs.

S4: Perennial Wild flower Meadow
Seed mix

S5: Amenity Grass
Seed mix

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Semi-Mature tree planting in hard landscape. To include tree grille and proprietary tree pit.

T2: Proposed Semi-Mature tree in soft
Semi-Mature tree planting in soft landscape.

Retained Existing trees
Semi-Mature tree planting in soft landscape.

STREET FURNITURE

F1: Raised Planter
Raised planter with integrated seating. To include groundcover, perennial and shrub planting species.

F2: Linear Raised Planter
Linear / rectangular raised planter with integrated seating. To include groundcover, perennial and shrub planting species.

F3: Bench
Linear bench with timber top, backrest and armrests.

F4: Individual Seats
Clusters of individual seats.

F5: Cycle Stands
Stainless Steel 'Sheffield' type cycle stands

F6: Litter Bin
Locations for litter bins.

F7: Catenary lighting

F8: Proposed lighting columns

F9: Proposed power points

F10: Proposed location for EV charging point

F11: Proposed bollard to foot path edge

F12: Solar Bench

F13: Bike repair station

F14: Information Plaque

F15: Water feature to Central Garden

F16: Existing Monument to Old Cross Square

F17: Play equipment to park

07

GA updated to reflect comments

nt

04.04.25

06

Planning boundary updated. Issued for Planning

nt

10.02.25

05

Planning Issue

nt

29.01.25

04

Planning Issue

nt

29.11.24

03

Planning Issue

nt

16.09.24

02

Draft Planning. Issued for information

nt

09.08.24

01

Issued for information

nt

23.04.24

Issue

Revision

Initial

Date

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Client

Monaghan County Council

Project

Dublin Street North

Monaghan

Drawing Title

SITE LAYOUT

SHEET 02

Scale Bar

2m 4m 6m 8m 10m

North

Scale: 1:200@A1 Date: MARCH 2024

By: NT Status: PLANNING

Checked: BP Approved: BP

Drawing Number

DBL-OPE-00-XX-DR-L-901302

Rev

07

Computer File: P:\2022\221769_Dublin St NBN\CAD\AUTOCAD\SHEETS

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KEY PLAN

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06	Planning boundary updated. Issued for Planning	nt	10.02.25
05	Planning Issue	nt	29.01.25
04	Planning Issue	nt	29.11.24
03	Planning Issue	nt	16.09.24
02	Draft Planning. Issued for information	nt	09.08.24
01	Issued for information	nt	23.04.24
Issue	Revision	Initial	Date

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Client

Monaghan County Council

Project

Dublin Street North

Monaghan

Drawing Title

SITE LAYOUT

SHEET 02

Scale Bar

2m 4m 6m 8m 10m

North

Scale: 1:200@A1 Date: MARCH 2024

By: NT Status: PLANNING

Checked: BP Approved: BP

Drawing Number

DBL-OPE-00-XX-DR-L-901302

Rev

07

Computer File: P:\2022\221769_Dublin St NBN\CAD\AUTOCAD\SHEETS



Note:
Information outside of redline boundary shown for context only.

LEGEND

GENERAL

Site Boundary

Embankments

Proposed Development Area

HARD LANDSCAPE

P1: Silver Grey Natural Stone paving
Natural stone paving in silver grey tones to footpaths and alleyways.

P2: Mid Grey Natural Stone paving
Natural stone paving in mid grey tones to carriageways.

P3: Precast Paving Units
Granite Aggregate precast paving units to footways.

P4: Block Paving
'Aqualow' Block paving to car parking spaces.

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Granite Aggregate precast paving units to central gardens.

P6: Cycle path

P7 Asphalt

P8: Feature bands
Feature bands in natural stone with a flamed finish.

P9 Tactile paving to uncontrolled ped. crossings

P10: Corduroy tactile paving to cycle lanes

P11: Corduroy tactile paving to steps

P12: Tactile guidance paving to pedestrian areas

P13: Tactile guidance paving to controlled crossings

P14: Feature paving inlay

P15: Mid Grey Self Binding Gravel to Park Footpaths

P16: Play Bark Surface

F1: Fencing to future development plots

F2: Proposed 1.2m high railings to reform boundary

F3: Proposed sections of timber post and rail fencing

F4: Proposed sections of 1.8m vertical timber board fencing

W1: Retaining wall

W1: Retaining wall

W1: Retaining wall

W1: Retaining wall

W1: Retaining wall

W1: Retaining wall

W1: Retaining wall

W1: Retaining wall

W1: Retaining wall

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W1: Retaining wall

W1: Retaining wall

W1: Retaining wall

W1: Retaining wall

W1: Retaining wall

W1: Retaining wall

W1: Retaining wall

W1: Retaining wall

STEPS

S1: Natural stone steps to Old Cross Square
with associated stainless steel handrails

S2: Natural stone steps
with associated stainless steel handrails

SOFT LANDSCAPE

S1: Shrub Mix 1
A mix of groundcover, ornamental grasses, perennials and shrubs.

S2: Shrub Mix 2
A mix of groundcover, ornamental grasses, perennials and shrubs.

S3: Rain Garden Mix 2
A mix of groundcover, ornamental grasses, perennials and shrubs.

S4: Perennial Wild flower Meadow
Seed mix

S5: Amenity Grass
Seed mix

T1: Proposed Semi-Mature tree in hard
Semi-Mature tree planting in hard landscape. To include tree grille and proprietary tree pit.

T2: Proposed Semi-Mature tree in soft
Semi-Mature tree planting in soft landscape.

Retained Existing trees
Semi-Mature tree planting in soft landscape.

STREET FURNITURE

F1: Raised Planter
Raised planter with integrated seating. To include groundcover, perennial and shrub planting species.

F2: Linear Raised Planter
Linear / rectangular raised planter with integrated seating. To include groundcover, perennial and shrub planting species.

F3: Bench
Linear bench with timber top, backrest and armrests.

F4: Individual Seats
Clusters of individual seats.

F5: Cycle Stands
Stainless Steel 'Sheffield' type cycle stands

F6: Litter Bin
Locations for litter bins.

F7: Catenary lighting

F8: Proposed lighting columns

F9: Proposed power points

F10: Proposed location for EV charging point

F11: Proposed bollard to foot path edge

F12: Solar Bench

F13: Bike repair station

F14: Information Plaque

F15: Water feature to Central Garden

F16: Existing Monument to Old Cross Square

F17: Play equipment to park

NOTES

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- Do not scale off this drawing. Written dimensions to be taken only.
- Any discrepancies found between this drawing and other drawings and specifications in the construction documents must be referred to the Landscape Architect prior to work commencing.
- This drawing must not be copied in whole or in part without prior written consent of Optimised Environments Ltd.

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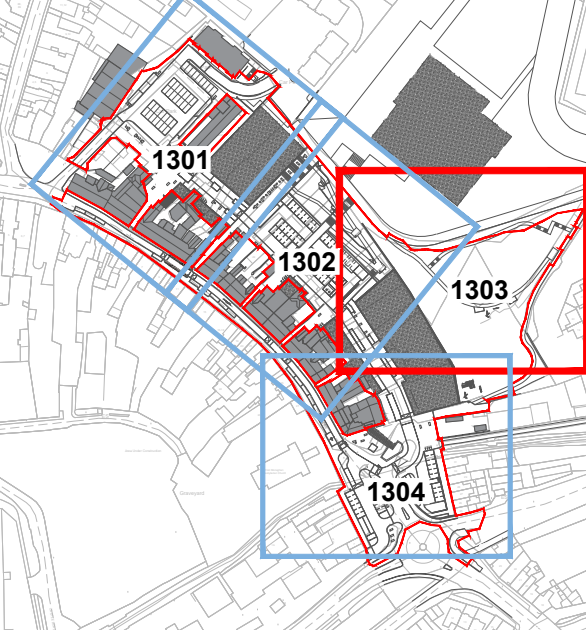
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CDM INFORMATION

1.

KEY PLAN



07	GA updated to reflect comments	nt	04.04.25
06	Planning boundary updated. Issued for Planning	nt	10.02.25
05	Planning Issue	nt	29.01.25
04	Planning Issue	nt	29.11.24
03	Planning Issue	nt	16.09.24
02	Draft Planning, issued for information	nt	09.08.24
01	Issued for information	nt	23.04.24
Issue	Revision	Initial	Date

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Client

Monaghan County Council

Project

Dublin Street North

Monaghan

Drawing Title

SITE LAYOUT

SHEET 03

Scale Bar
2m 4m 6m 8m 10m North

Scale: 1:200@A1 Date: MARCH 2024

By: NT Status: PLANNING

Checked: BP Approved: BP

Drawing Number

DBL-0PE-00-XX-DR-L-901303

Rev

07

Computer File: P:\2022\221769_Dublin St NHI\CAD\AUTOCAD\SHEETS

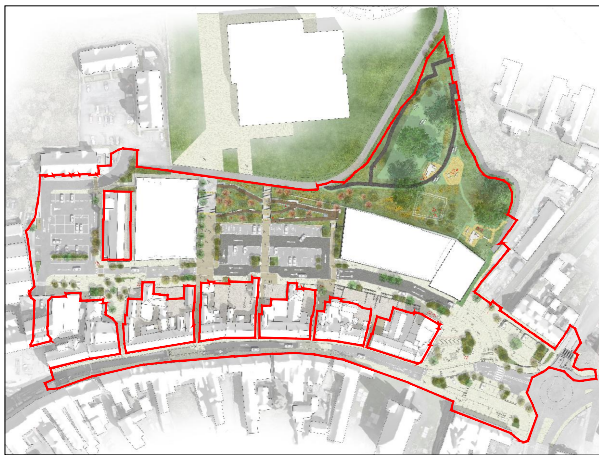


- NOTES
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 2. Do not scale off this drawing. Written dimensions to be taken only.
 3. Any discrepancies found between this drawing and other drawings and specifications in the construction documents must be referred to the Landscape Architect prior to work commencing.
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CDM INFORMATION

1.

KEY PLAN



04	Issued for Planning	nt	29.01.25
03	Issued for Planning	nt	29.11.24
02	Issued for information. Draft planning	nt	08.08.24
01	Issued for discussion - Progress Meeting	hw	21.04.23
	Issued for discussion - Progress Meeting	hw	07.03.23
Issue	Revision	Initial	Date

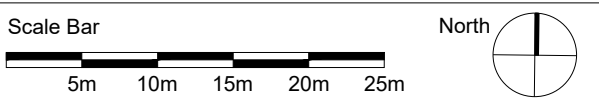
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Client
Monaghan County Council

Project
Dublin Street North
Monaghan

Drawing Title
Dublin Street North
Illustrative Masterplan



Scale: **NTS@A1** Date: **April 2023**
By: **hw** Status: **PLANNING**
Checked: **hw** Approved: **bp**

Drawing Number
DBL-OPE-00-XX-DR-L-901306 Rev
05

Computer File: P:\2022\221769_Dublin St NHI\CAD\AUTOCAD\SHEETS



- LEGEND**
- Building to be retained
 - Building to be demolished
 - Historic wall to be retained
 - Historic wall to be demolished
 - Other wall to be demolished

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P02	08.04.25	Changes for planning issue	DSA
P01	04.02.25	First issue for client review	DSA
Rev	Date	Description	App

Project Manager, Civil & Structural Engineers



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Client



Comhairle Contae Mhuineacháin
Monaghan County Council

Project Status: STAGE 3 - PLANNING

Project: NORTH DUBLIN STREET & BACKLANDS REGENERATION PROJECT

Drawing: BUILDING AND WALL DEMOLITIONS PLAN

Scale	1:500 @ A1			
Drawn	DSA	Checked	DSA	Approved
Date	04.02.25	Date	04.02.25	Date

Project	Organisation	Zone	Level	Type	Role	Number	Revision
DSN	MCA	ZZ	XX	DR	CE	1902	P02

Project Number	Status code & Description
E2442	S2 For Information

All dimensions are in metres. Figured dimensions to be taken in preference to scaled dimensions. Dimensions to be checked on site. © 2023 McAdam Design Ltd.